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22c BURRAN AVENUE, MOSMAN

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PROJECT:

PROPOSED SINGLE RESIDENTIAL DWELLING

22c BURRAN AVENUE, MOSMAN NSW 2088

Lot 1, DP 730301

CLIENT: SIT FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST

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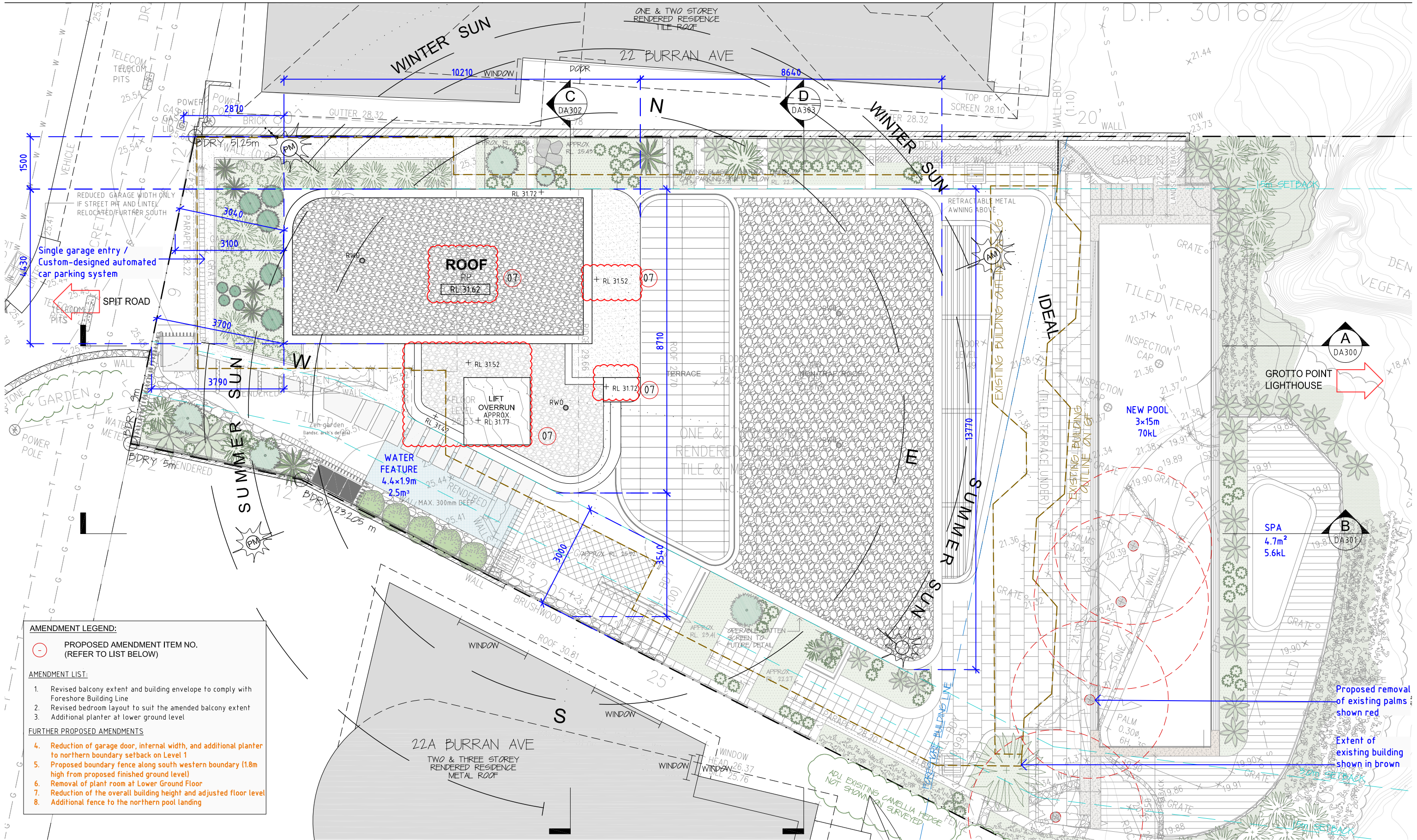
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ISSUE: B
JOB No. 1908

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AMENDMENT LEGEND:

- PROPOSED AMENDMENT ITEM NO.
(REFER TO LIST BELOW)

AMENDMENT LIST:

- Revised balcony extent and building envelope to comply with Foreshore Building Line
- Revised bedroom layout to suit the amended balcony extent
- Additional planter at lower ground level

FURTHER PROPOSED AMENDMENTS

- Reduction of garage door, internal width, and additional planter to northern boundary setback on Level 1
- Proposed boundary fence along south western boundary (1.8m high from proposed finished ground level)
- Removal of plant room at Lower Ground Floor
- Reduction of the overall building height and adjusted floor level
- Additional fence to the northern pool landing

DEVELOPMENT APPLICATION DRAWINGS

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Lot 1, DP 730301
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SCALE 1:100 @ A3
0 2 3m

DA002

SITE ANALYSIS PLAN

ISSUE: B
JOB No. 1908

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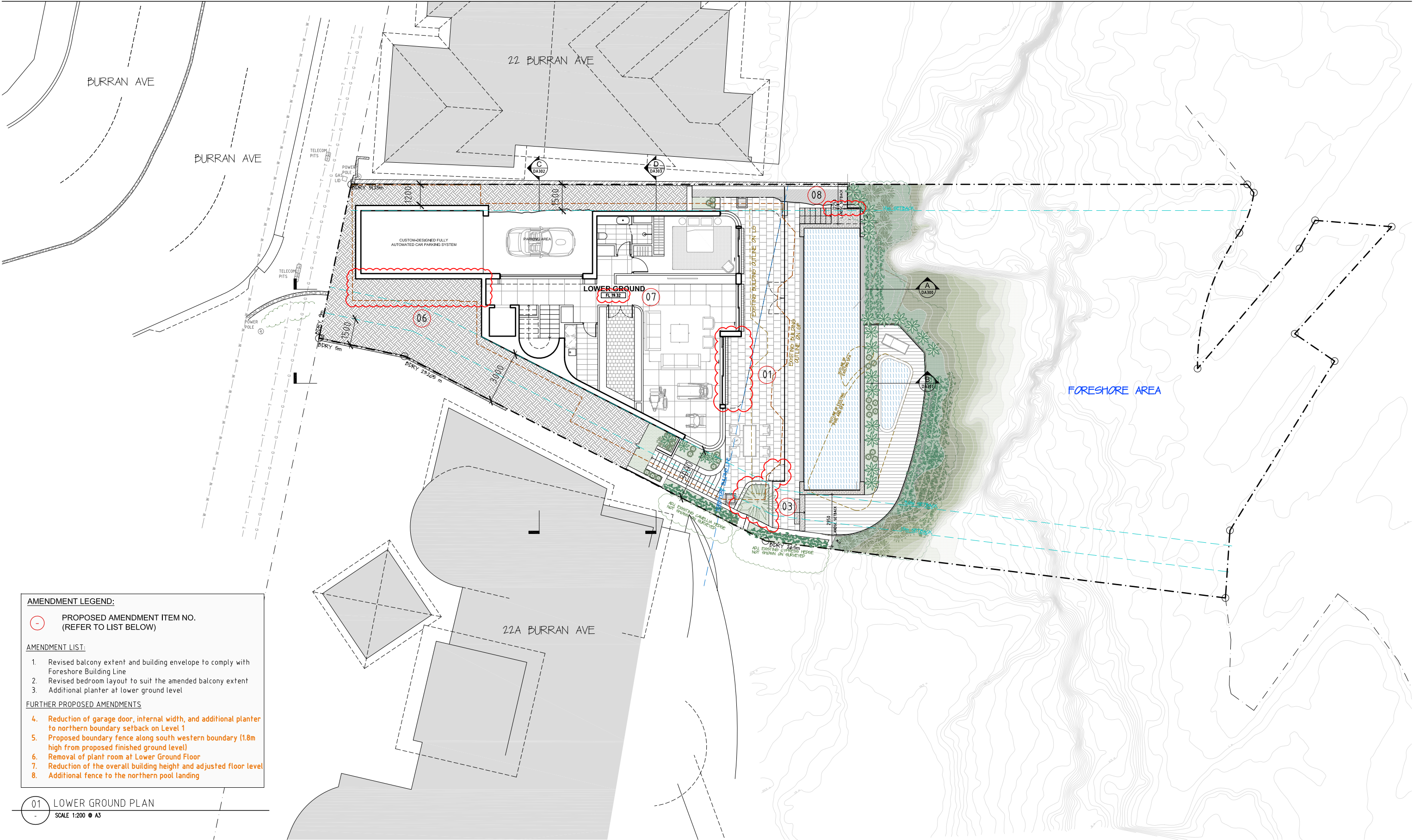
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- PLAN LEGEND:**
- | | |
|-------|--|
| AWx | AWNING TYPE x |
| CPT. | CARPET FLOORING TO FUTURE SELECTION |
| CONC. | CONCRETE FLOORING |
| FCE1 | FENCE TYPE 1 - LAPPED & CAPPED PRIVACY FENCE |
| FCE2 | FENCE TYPE 2 - VERTICAL METAL SCREEN |
| GB | GLASS BALUSTRADE |
| LDR | LINEAR DRAINAGE |
| HWT | WATER TANK TO HYD. ENG.'S DETAILS |

- | | |
|-----|------------------------------------|
| MB | MAILBOX |
| MTS | SERVICES METERS (TO FUTURE DETAIL) |
| MV | MECHANICAL VENTILATION |
| NGL | NATURAL GROUND LEVEL |
| PTB | PLANTER BOX (TO FUTURE DETAIL) |
| PV | PAVEMENT |
| PS | PRIVACY SCREEN (OPERABLE) |
| RP | RIVER PEBBLE |
| RTN | RETAINING WALL |

- | | |
|-----|-------------------------------------|
| RWT | RAINWATER TANK |
| SKL | SKYLIGHT |
| SP | STORMWATER PIT BY CIVIL ENGINEER |
| TF. | TIMBER FLOORING TO FUTURE SELECTION |
| TL. | TILED FLOORING TO FUTURE SELECTION |
| WF | WATER FEATURE |

Notes:
Perimeter pool safety barrier to comply with AS1926 parts 1 and 2, Swimming Pool Regulation, Swimming Pools Act and other authority requirements



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01 LOWER GROUND PLAN
SCALE 1:200 @ A3

DEVELOPMENT APPLICATION DRAWINGS

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PROPOSED SINGLE RESIDENTIAL DWELLING
22c BURRAN AVENUE, MOSMAN NSW 2088
Lot 1, DP 730301
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SCALE 1:200 @ A3
0 1 2 5m

DA011

LOWER GROUND PLAN

ISSUE: C
JOB No. 1908

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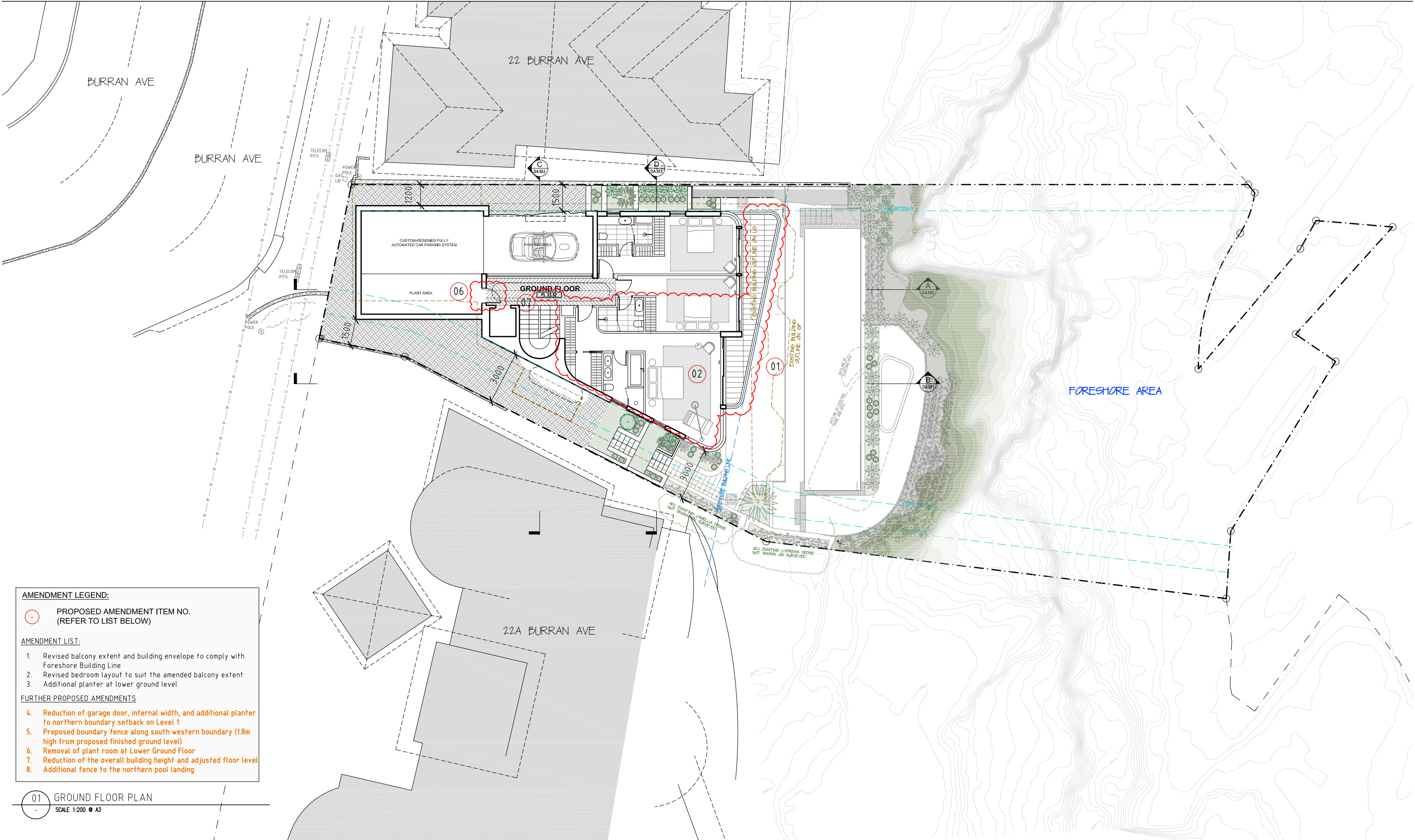
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- PLAN LEGEND:**
- | | |
|-------|--|
| AWx | AWNING TYPE x |
| CPT. | CARPET FLOORING TO FUTURE SELECTION |
| CONC. | CONCRETE FLOORING |
| FCE1 | FENCE TYPE 1 - LAPPED & CAPPED PRIVACY FENCE |
| FCE2 | FENCE TYPE 2 - VERTICAL METAL SCREEN |
| GB | GLASS BALUSTRADE |
| LDR | LINEAR DRAINAGE |
| HWT | WATER TANK TO HYD. ENG.'S DETAILS |

- | | |
|-----|------------------------------------|
| MB | MAILBOX |
| MTS | SERVICES METERS (TO FUTURE DETAIL) |
| MV | MECHANICAL VENTILATION |
| NGL | NATURAL GROUND LEVEL |
| PTB | PLANTER BOX (TO FUTURE DETAIL) |
| PV | PAVEMENT |
| PS | PRIVACY SCREEN (OPERABLE) |
| RP | RIVER PEBBLE |
| RTN | RETAINING WALL |

- | | |
|-----|-------------------------------------|
| RWT | RAINWATER TANK |
| SKL | SKYLIGHT |
| SP | STORMWATER PIT BY CIVIL ENGINEER |
| TF. | TIMBER FLOORING TO FUTURE SELECTION |
| TL. | TILED FLOORING TO FUTURE SELECTION |
| WF | WATER FEATURE |

Notes:
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01 GROUND FLOOR PLAN

SCALE 1:200 @ A3

DEVELOPMENT APPLICATION DRAWINGS

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PROPOSED SINGLE RESIDENTIAL DWELLING

22c BURRAN AVENUE, MOSMAN NSW 2088
Lot 1, DP 730301

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SCALE 1:200 @ A3
0 1 2 5m

DA012

GROUND FLOOR PLAN

ISSUE: C
JOB No. 1908

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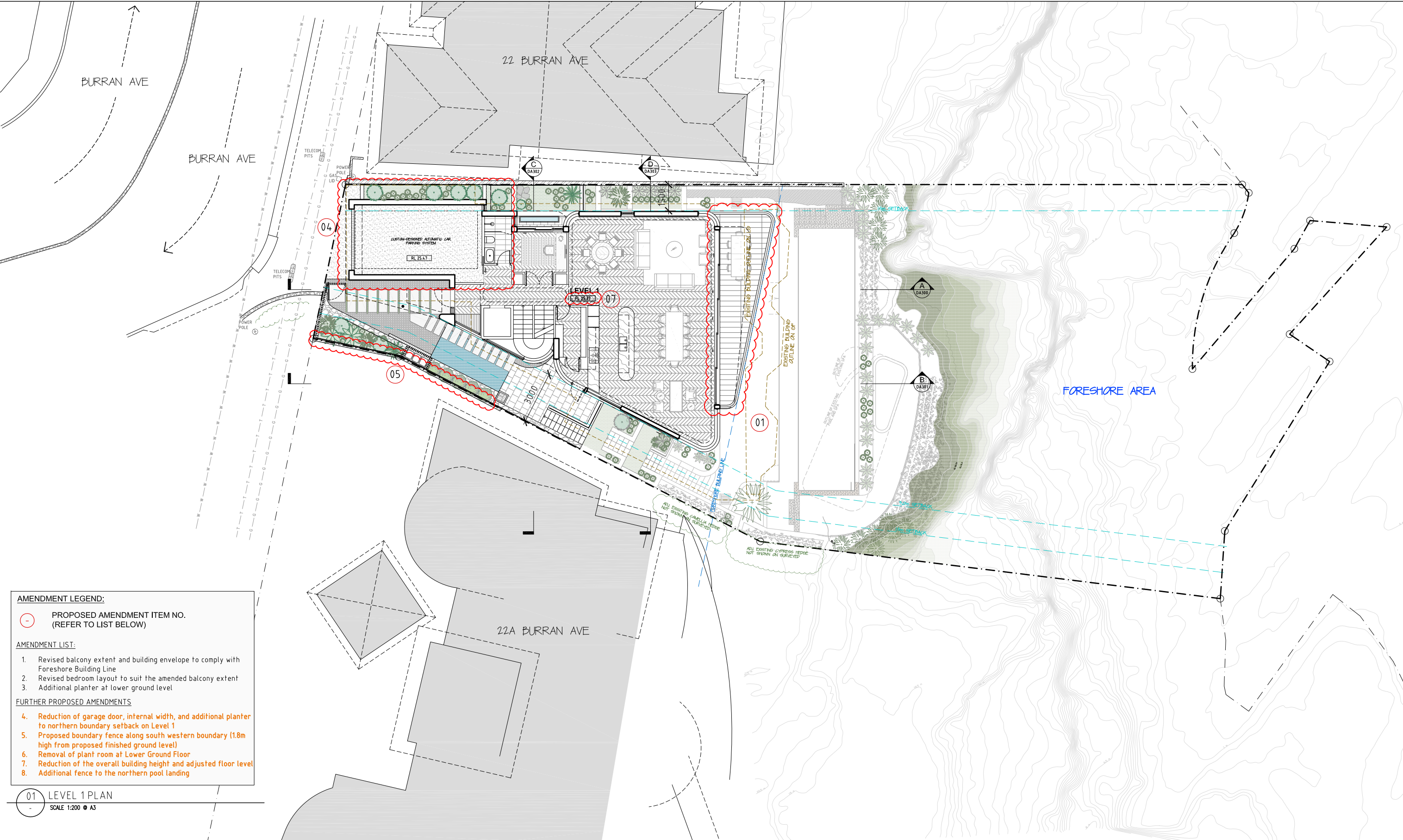
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CPT. CARPET FLOORING TO FUTURE SELECTION
CONC. CONCRETE FLOORING
FCE1 FENCE TYPE 1 - LAPPED & CAPPED PRIVACY FENCE
FCE2 FENCE TYPE 2 - VERTICAL METAL SCREEN
GB GLASS BALUSTRADE
LDR LINEAR DRAINAGE
HWT WATER TANK TO HYD. ENG.'S DETAILS

- MB MAILBOX
MTS SERVICES METERS (TO FUTURE DETAIL)
MV MECHANICAL VENTILATION
NGL NATURAL GROUND LEVEL
PTB PLANTER BOX (TO FUTURE DETAIL)
PV PAVEMENT
PS PRIVACY SCREEN (OPERABLE)
RP RIVER PEBBLE
RTN RETAINING WALL

- RWT RAINWATER TANK
SKL SKYLIGHT
SP STORMWATER PIT BY CIVIL ENGINEER
TF. TIMBER FLOORING TO FUTURE SELECTION
TL. TILED FLOORING TO FUTURE SELECTION
WF WATER FEATURE

Notes:

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01 LEVEL 1 PLAN

SCALE 1:200 @ A3

DEVELOPMENT APPLICATION DRAWINGS

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SCALE 1:200 @ A3
0 1 2 5m

DA013

LEVEL 1 PLAN

ISSUE: C
JOB No. 1908

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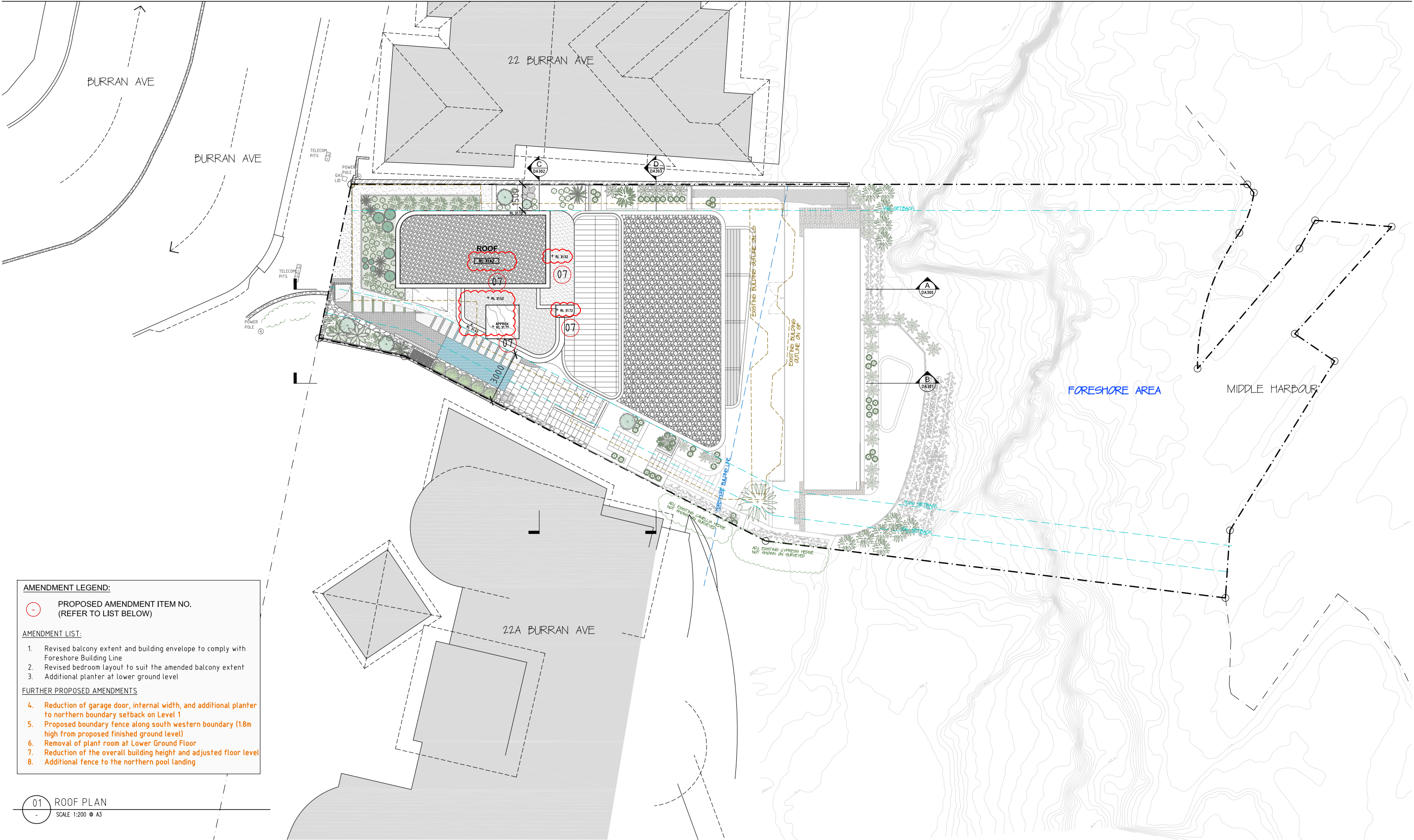
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LDR LINEAR DRAINAGE
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MV MECHANICAL VENTILATION
NGL NATURAL GROUND LEVEL
PTB PLANTER BOX (TO FUTURE DETAIL)
PV PAVEMENT
PS PRIVACY SCREEN (OPERABLE)
RP RIVER PEBBLE
RTN RETAINING WALL

RWT RAINWATER TANK
SKL SKYLIGHT
SP STORMWATER PIT BY CIVIL ENGINEER
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01 ROOF PLAN
SCALE 1:200 @ A3

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0 1 2 5m

DA015

ROOF PLAN

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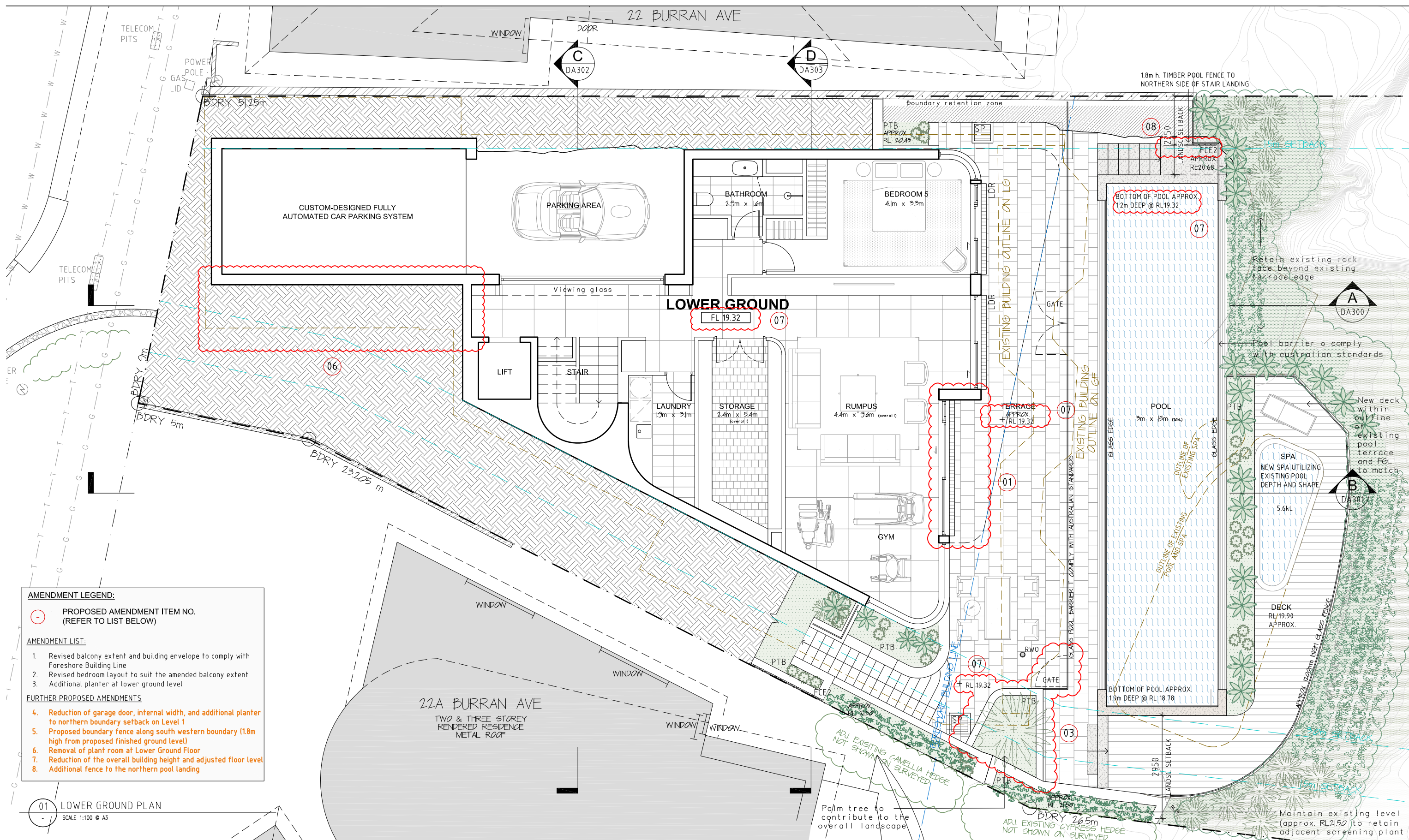
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RTN	RETAINING WALL

RWT	RAINWATER TANK
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WF	WATER FEATURE

RAINWATER TANK
SKYLIGHT
STORMWATER PIT BY CIVIL ENGINEER
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SCALE 1:100 © A

DA101
LOWER GROUND PLAN

ISSUE: C
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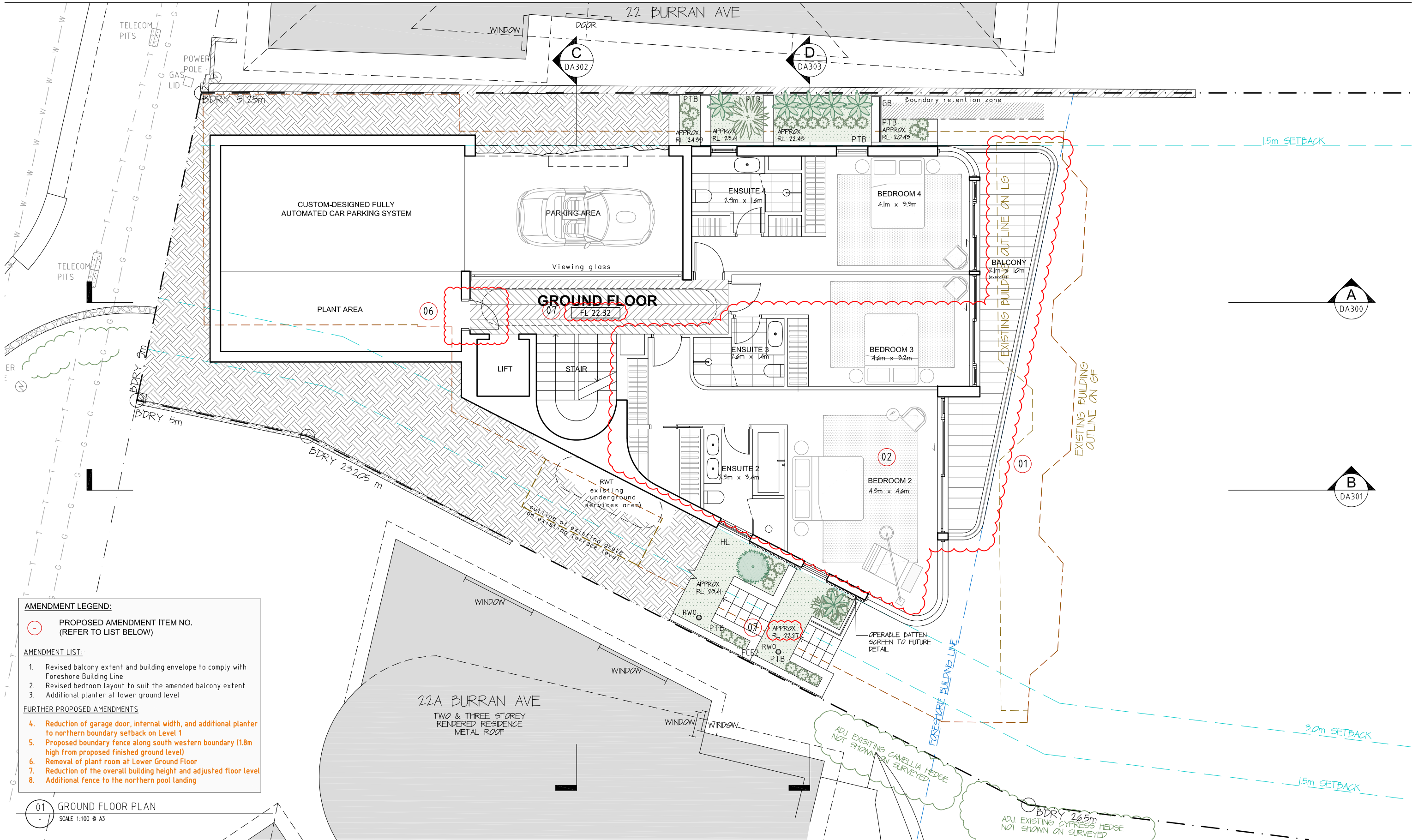
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GB GLASS BALUSTRADE
LDR LINEAR DRAINAGE
HWT WATER TANK TO HYD. ENG.'S DETAILS

- MB MAILBOX
MTS SERVICES METERS (TO FUTURE DETAIL)
MV MECHANICAL VENTILATION
NGL NATURAL GROUND LEVEL
PTB PLANTER BOX (TO FUTURE DETAIL)
PV PAVEMENT
PS PRIVACY SCREEN (OPERABLE)
RP RIVER PEBBLE
RTN RETAINING WALL

- RWT RAINWATER TANK
SKL SKYLIGHT
SP STORMWATER PIT BY CIVIL ENGINEER
TF. TIMBER FLOORING TO FUTURE SELECTION
TL. TILED FLOORING TO FUTURE SELECTION
WF WATER FEATURE

Notes:

- Perimeter pool safety barrier to comply with AS1926 parts 1 and 2, Swimming Pool Regulation, Swimming Pools Act and other authority requirements



AMENDMENT LEGEND:

- PROPOSED AMENDMENT ITEM NO.
(REFER TO LIST BELOW)

AMENDMENT LIST:

- Revised balcony extent and building envelope to comply with Foreshore Building Line
- Revised bedroom layout to suit the amended balcony extent
- Additional planter at lower ground level

FURTHER PROPOSED AMENDMENTS

- Reduction of garage door, internal width, and additional planter to northern boundary setback on Level 1
- Proposed boundary fence along south western boundary (1.8m high from proposed finished ground level)
- Removal of plant room at Lower Ground Floor
- Reduction of the overall building height and adjusted floor level
- Additional fence to the northern pool landing

01 GROUND FLOOR PLAN
SCALE 1:100 @ A3

DEVELOPMENT APPLICATION DRAWINGS

PROJECT:
PROPOSED SINGLE RESIDENTIAL DWELLING
22c BURRAN AVENUE, MOSMAN NSW 2088
Lot 1, DP 730301
CLIENT: SIT FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST

ISSUE	DATE	DESCRIPTION
P1	02.09.2020	PRELIMINARY FOR COORDINATION
A	28.09.2020	DEVELOPMENT APPLICATION
B	01.10.2021	AMENDED APPLICATION
C	25.10.2021	ISSUE FOR LEC

ISSUE	DATE	DESCRIPTION



SCALE 1:100 @ A3
0 1 2 3m

GROUND FLOOR PLAN

DA102

ISSUE: C
JOB No. 1908

PBD | ARCHITECTS

ABN 36 147 035 550
Level 2, 52 Alton Street, Surry Hills NSW 2010
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GENERAL NOTES:

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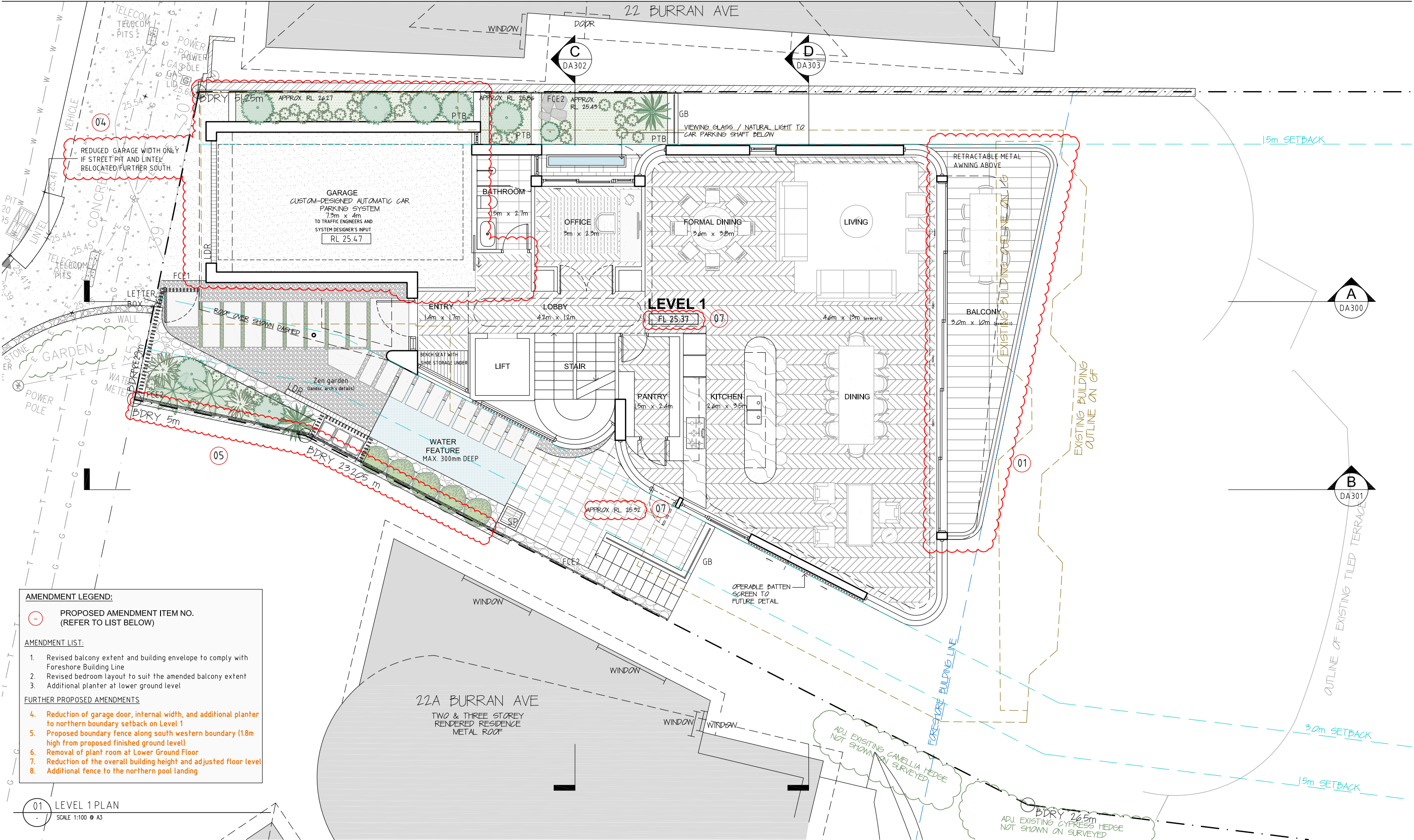
PLAN LEGEND:

AWx AWWING TYPE x
CPT. CARPET FLOORING TO FUTURE SELECTION
CONC. CONCRETE FLOORING
FCE1 FENCE TYPE 1 - LAPPED & CAPPED PRIVACY FENCE
FCE2 FENCE TYPE 2 - VERTICAL METAL SCREEN
GB GLASS BALUSTRADE
LDR LINEAR DRAINAGE
HWT WATER TANK TO HYD. ENG.'S DETAILS

MB MAILBOX
MTS SERVICES METERS (TO FUTURE DETAIL)
MV MECHANICAL VENTILATION
NGL NATURAL GROUND LEVEL
PTB PLANTER BOX (TO FUTURE DETAIL)
PV PAVEMENT
PS PRIVACY SCREEN (OPERABLE)
RP RIVER PEBBLE
RTN RETAINING WALL

RWT RAINWATER TANK
SKL SKYLIGHT
SP STORMWATER PIT BY CIVIL ENGINEER
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LEVEL 1 PLAN

SCALE 1:100 @ A3

DEVELOPMENT APPLICATION DRAWINGS

PROJECT: PROPOSED SINGLE RESIDENTIAL DWELLING

22c BURRAN AVENUE, MOSMAN NSW 2088
Lot 1, DP 730301

CLIENT: SIF FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST

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SCALE 1:100 @ A3
0 1 2 3m

DA103

LEVEL 1 PLAN

ISSUE: C
JOB No. 1908

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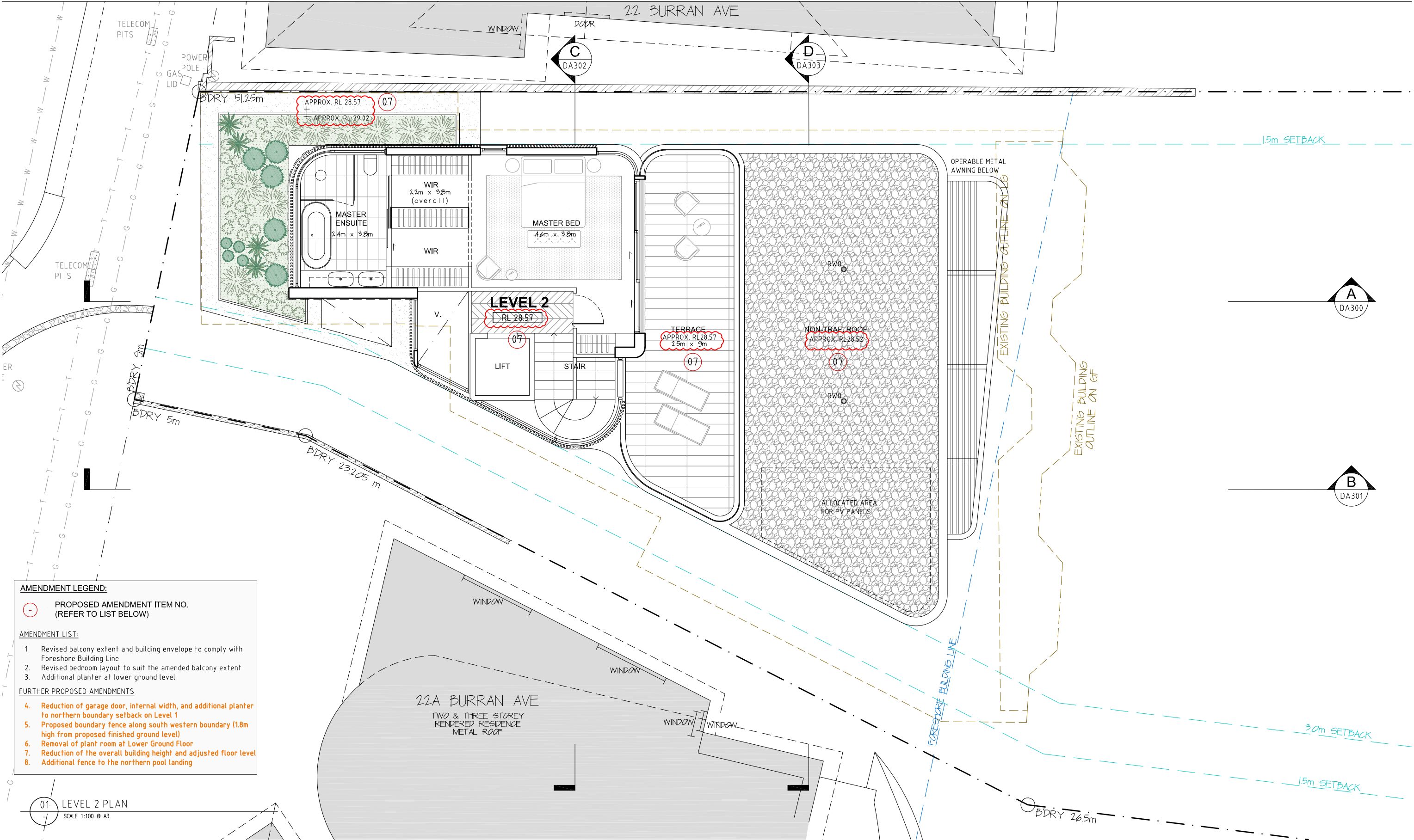
PLAN LEGEND:

AWx AWNING TYPE x
CPT. CARPET FLOORING TO FUTURE SELECTION
CONC. CONCRETE FLOORING
FCE1 FENCE TYPE 1 - LAPPED & CAPPED PRIVACY FENCE
FCE2 FENCE TYPE 2 - VERTICAL METAL SCREEN
GB GLASS BALUSTRADE
LDR LINEAR DRAINAGE
HWT WATER TANK TO HYD. ENG.'S DETAILS

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MV MECHANICAL VENTILATION
NGL NATURAL GROUND LEVEL
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PS PRIVACY SCREEN (OPERABLE)
RP RIVER PEBBLE
RTN RETAINING WALL

RWT RAINWATER TANK
SKL SKYLIGHT
SP STORMWATER PIT BY CIVIL ENGINEER
TF. TIMBER FLOORING TO FUTURE SELECTION
TL. TILED FLOORING TO FUTURE SELECTION
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DEVELOPMENT APPLICATION DRAWINGS

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22c BURRAN AVENUE, MOSMAN NSW 2088
Lot 1, DP 730301
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B	25,10,2021	ISSUE FOR LEG			



SCALE 1:100 @ A3
0 1 2 3m

DA104

LEVEL 2 PLAN

ISSUE: B
JOB No. 1908

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PLAN LEGEND:

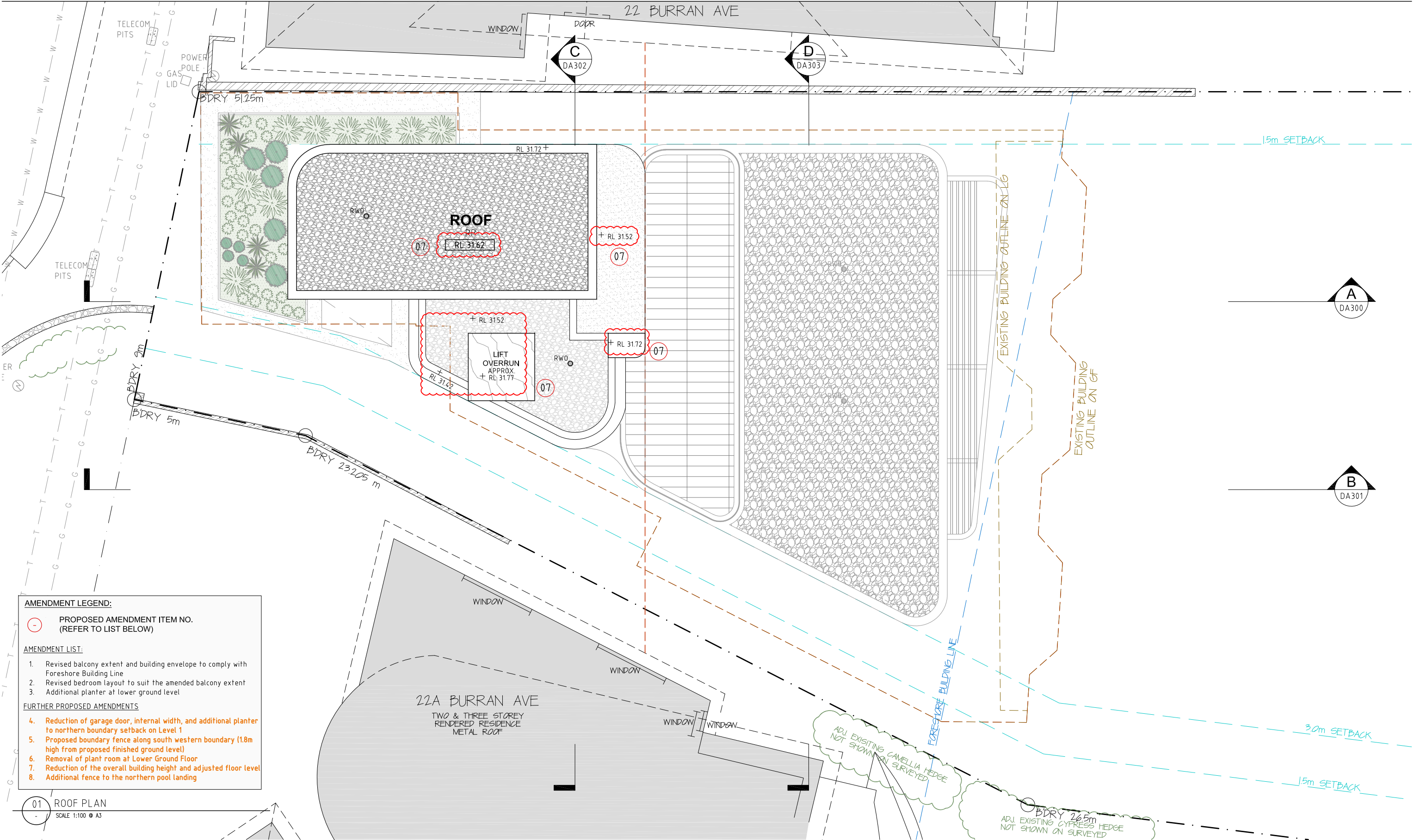
- AWx AWNING TYPE x
CPT. CARPET FLOORING TO FUTURE SELECTION
CONC. CONCRETE FLOORING
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FCE2 FENCE TYPE 2 - VERTICAL METAL SCREEN
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01 ROOF PLAN

SCALE 1:100 @ A3

DEVELOPMENT APPLICATION DRAWINGS

PROJECT:
PROPOSED SINGLE RESIDENTIAL DWELLING
22c BURRAN AVENUE, MOSMAN NSW 2088
Lot 1, DP 730301
CLIENT: SIT FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST

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P1	02,09,2020	PRELIMINARY FOR COORDINATION			
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SCALE 1:100 @ A3
0 1 2 3m

DA105

ROOF PLAN

ISSUE: B
JOB No. 1908

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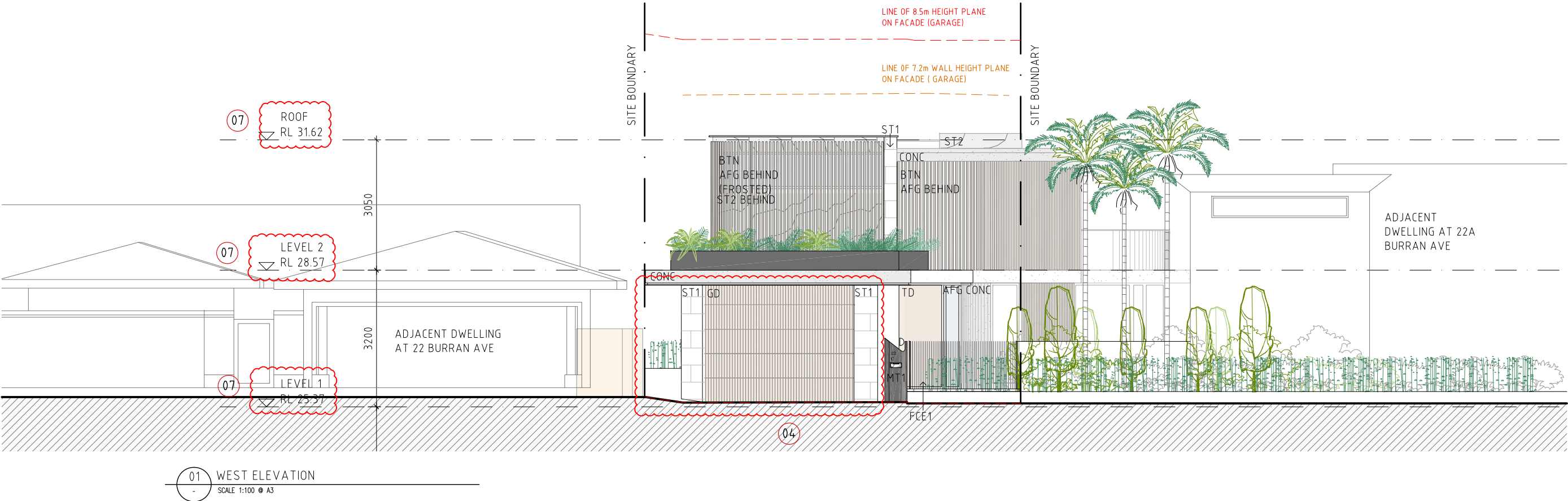
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MATERIALS:

- | | |
|------|----------------------------|
| AFG | ALUMINIUM FRAMED GLAZING |
| BTN | VERTICAL ALUMINIUM BATTENS |
| CONC | CONCRETE FINISH |
| NGL | EXISTING GROUND LEVEL |
| FCEx | FENCE TYPE X |
| GB | GLASS BLAUSTRADE |
| GD | GARAGE DOOR |
| PTx | POWDERCOAT FINISH X |
| PS | PRIVACY SCREEN (OPERABLE) |
| | VERTICAL ALUMINIUM BATTENS |
| STx | STONE CLADDING TYPE X |
| TD | TIMBER CLAD DOOR |

Note: landscaping and shadow shown on elevations are indicative and for illustration purpose only.

- AMENDMENT LEGEND:
- PROPOSED AMENDMENT ITEM NO.
(REFER TO LIST BELOW)
- AMENDMENT LIST:
- Revised balcony extent and building envelope to comply with Foreshore Building Line
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 - Removal of plant room at Lower Ground Floor
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DEVELOPMENT APPLICATION DRAWINGS

PROJECT:	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
PROPOSED SINGLE RESIDENTIAL DWELLING 22c BURRAN AVENUE, MOSMAN NSW 2088 Lot 1, DP 730301 CLIENT: SIT FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST	P1	09.09.2020	PRELIMINARY FOR COORDINATION			
	P2	10.09.2020	PRELIMINARY FOR COORDINATION			
	A	28.09.2020	DEVELOPMENT APPLICATION			
	B	25.10.2021	ISSUE FOR LEC			



DA210

ELEVATIONS 01

ISSUE: B
JOB No. 1908

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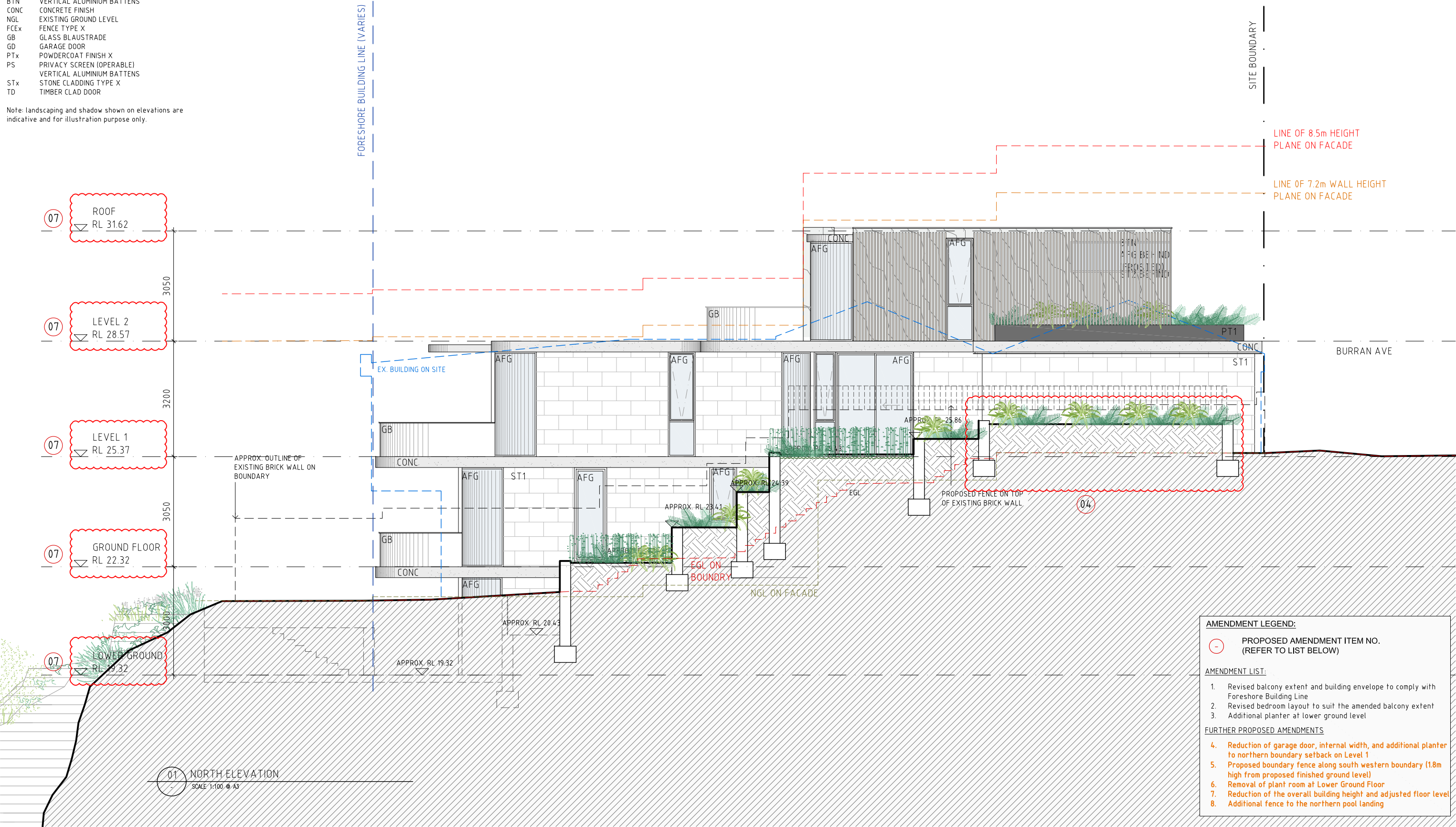
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MATERIALS:

AFG ALUMINIUM FRAMED GLAZING
BTN VERTICAL ALUMINIUM BATTENS
CONC CONCRETE FINISH
NGL EXISTING GROUND LEVEL
FCEX FENCE TYPE X
GB GLASS BLAUSTRADE
GD GARAGE DOOR
PTX POWDERCOAT FINISH X
PS PRIVACY SCREEN (OPERABLE)
STX VERTICAL ALUMINIUM BATTENS
TD STONE CLADDING TYPE X
TD TIMBER CLAD DOOR

Note: landscaping and shadow shown on elevations are indicative and for illustration purpose only.



AMENDMENT LEGEND:

04 PROPOSED AMENDMENT ITEM NO. (REFER TO LIST BELOW)

AMENDMENT LIST:

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DEVELOPMENT APPLICATION DRAWINGS

PROJECT:	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
PROPOSED SINGLE RESIDENTIAL DWELLING	P1	09.09.2020	PRELIMINARY FOR COORDINATION			
22c BURRAN AVENUE, MOSMAN NSW 2088	P2	10.09.2020	PRELIMINARY FOR COORDINATION			
Lot 1, DP 730301	A	28.09.2020	DEVELOPMENT APPLICATION			
CLIENT: SIT FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST	B	25.10.2021	ISSUE FOR LEC			



DA211

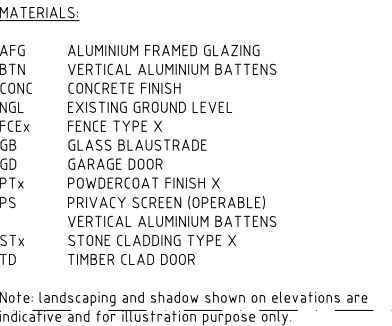
ELEVATIONS 02

ISSUE: B
JOB No. 1908

PBD | ARCHITECTS

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PROJECT:
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22c BURRAN AVENUE, MOSMAN NSW 2088
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ISSUE: C
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CONC CONCRETE FINISH
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FCEX FENCE TYPE X
GB GLASS BLAUSTRADE
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PTX POWDERCOAT FINISH X
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STX VERTICAL ALUMINIUM BATTENS
STX STONE CLADDING TYPE X
TD TIMBER CLAD DOOR

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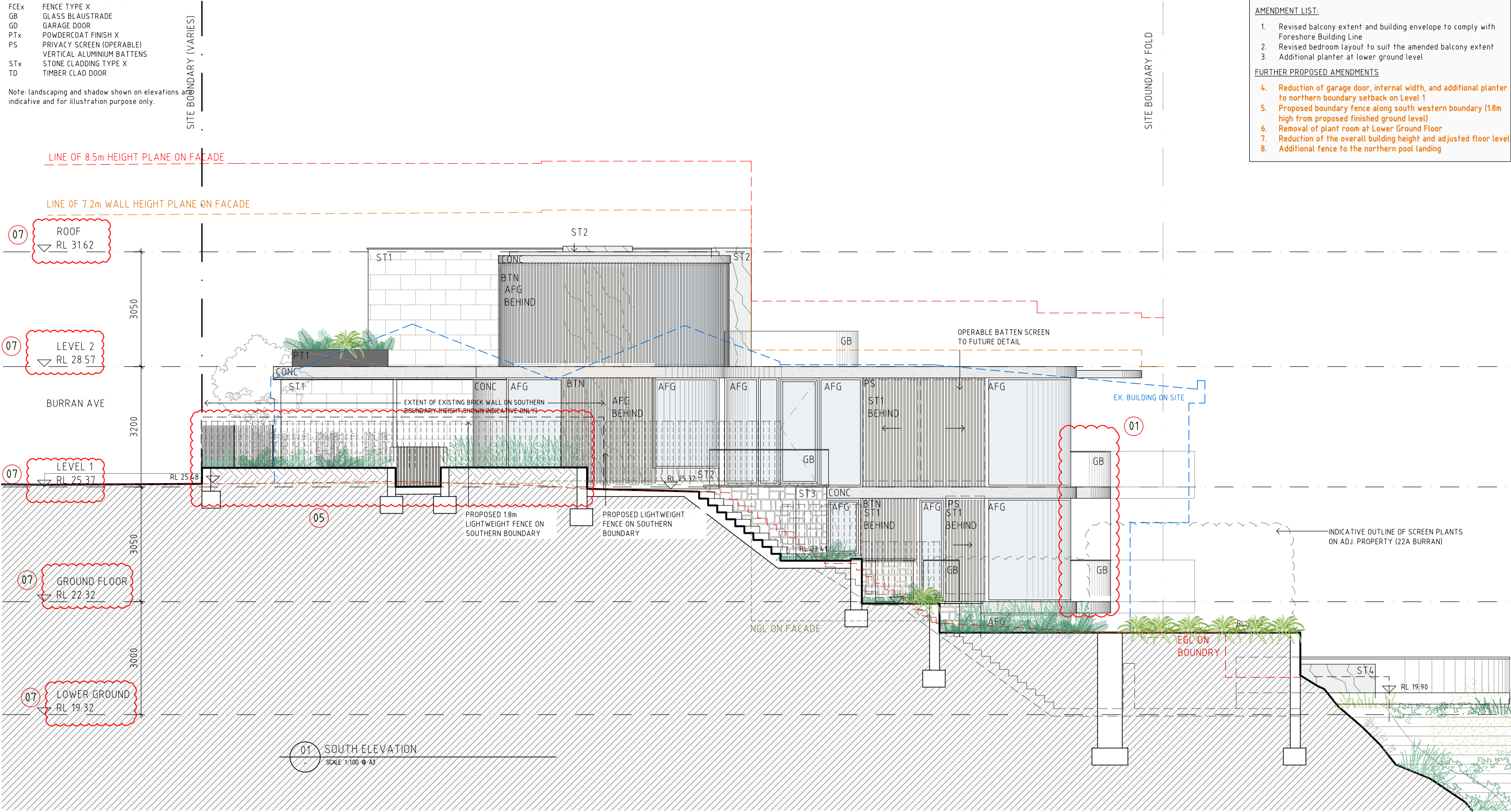
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DEVELOPMENT APPLICATION DRAWINGS

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DA213
ELEVATIONS 04

ISSUE: C
JOB No. 1908

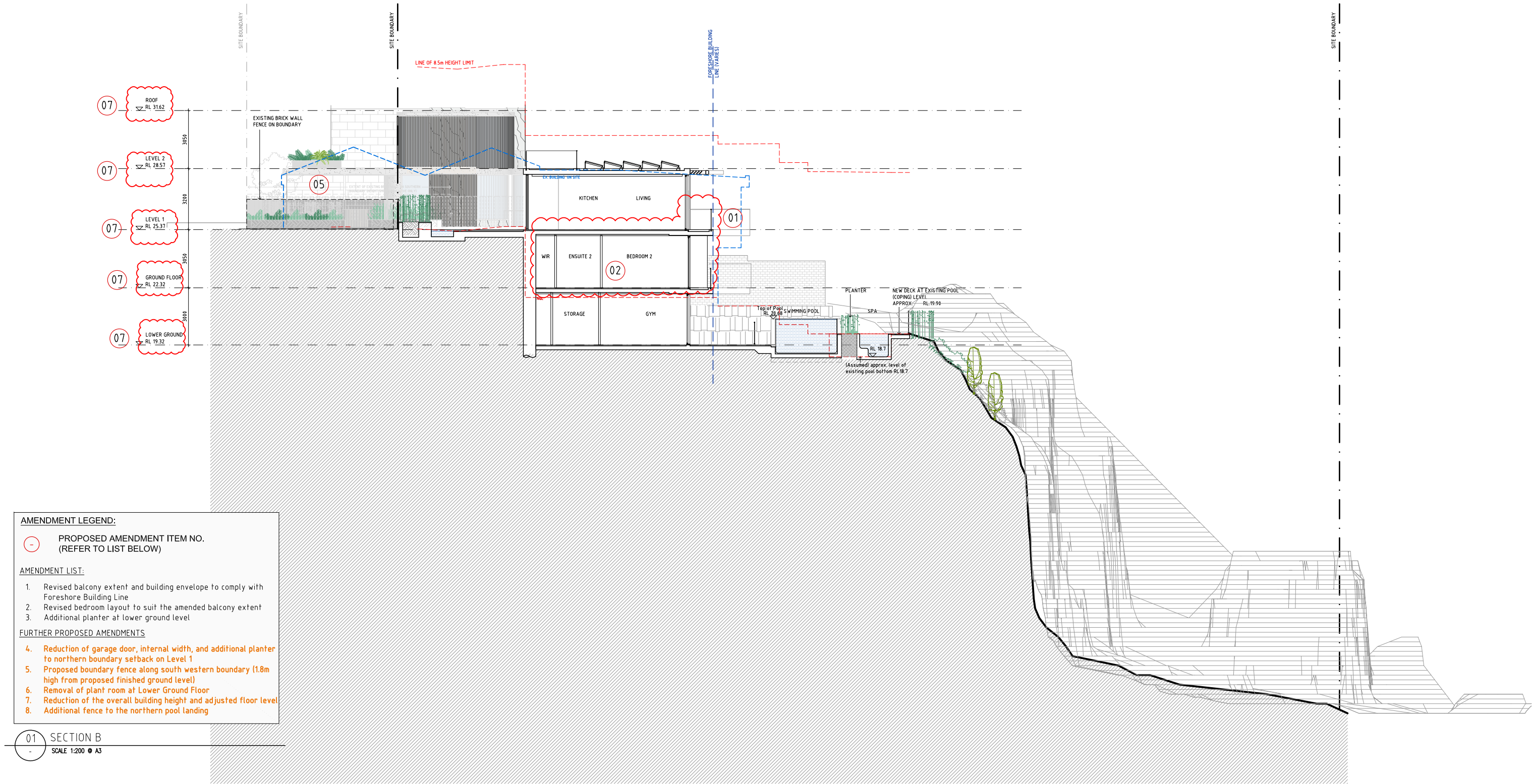
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DEVELOPMENT APPLICATION DRAWINGS

PROJECT:
PROPOSED SINGLE RESIDENTIAL DWELLING
22c BURRAN AVENUE, MOSMAN NSW 2088
Lot 1, DP 730301
CLIENT: SIF FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
P1	02.09.2020	PRELIMINARY FOR COORDINATION			
A	28.09.2020	DEVELOPMENT APPLICATION			
B	01.10.2021	AMENDED APPLICATION			
C	25.10.2021	ISSUE FOR LEC			

SCALE 1:200 @ A3
0 1 2 5m

DA301

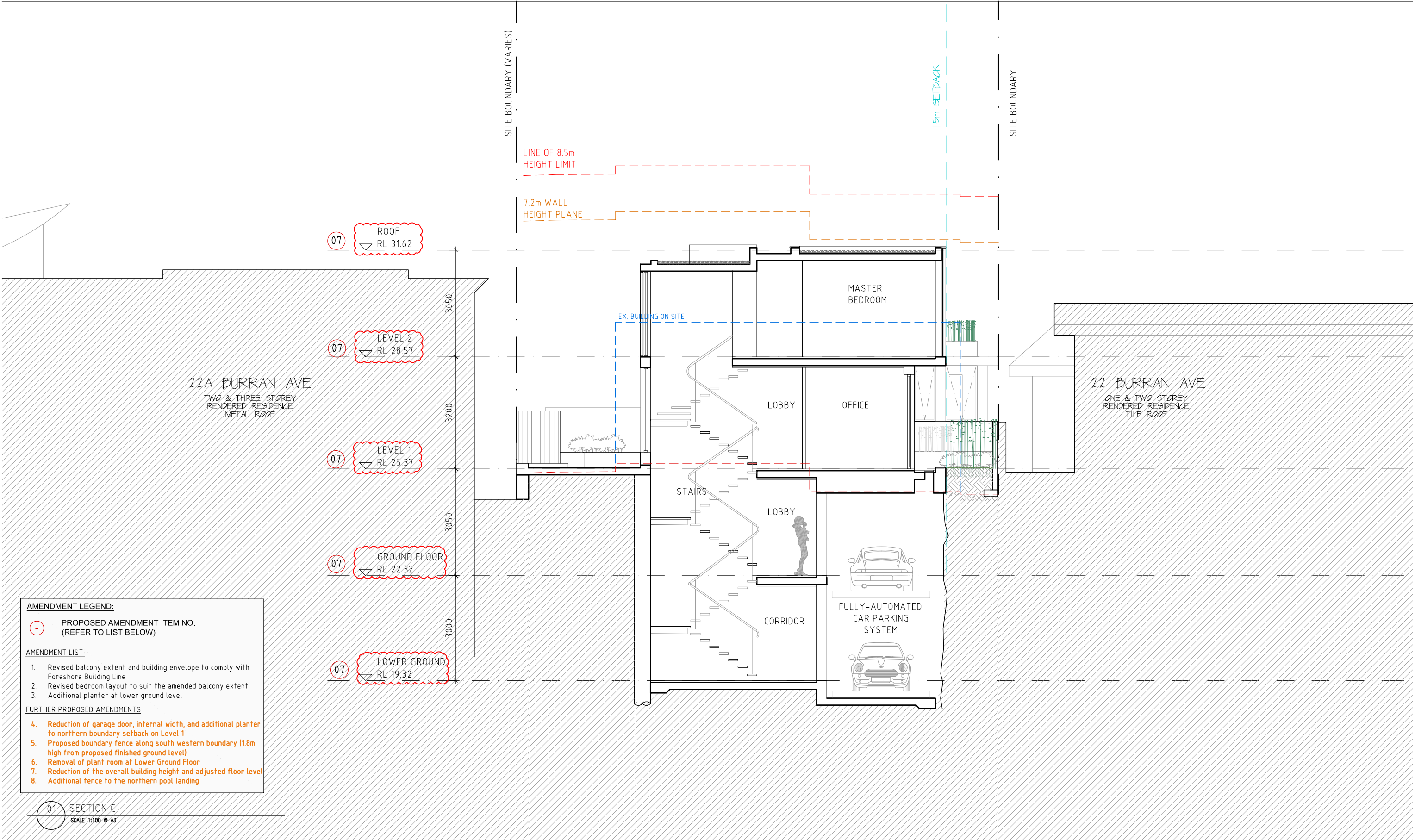
SECTION B

ISSUE: C
JOB No. 1908

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DEVELOPMENT APPLICATION DRAWINGS

PROJECT:	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
PROPOSED SINGLE RESIDENTIAL DWELLING 22c BURRAN AVENUE, MOSMAN NSW 2088 Lot 1, DP 730301 CLIENT: SIT FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST	P1	02.09.2020	PRELIMINARY FOR COORDINATION			
	A	28.09.2020	DEVELOPMENT APPLICATION			
	B	25.10.2021	ISSUE FOR LEG			



DA302

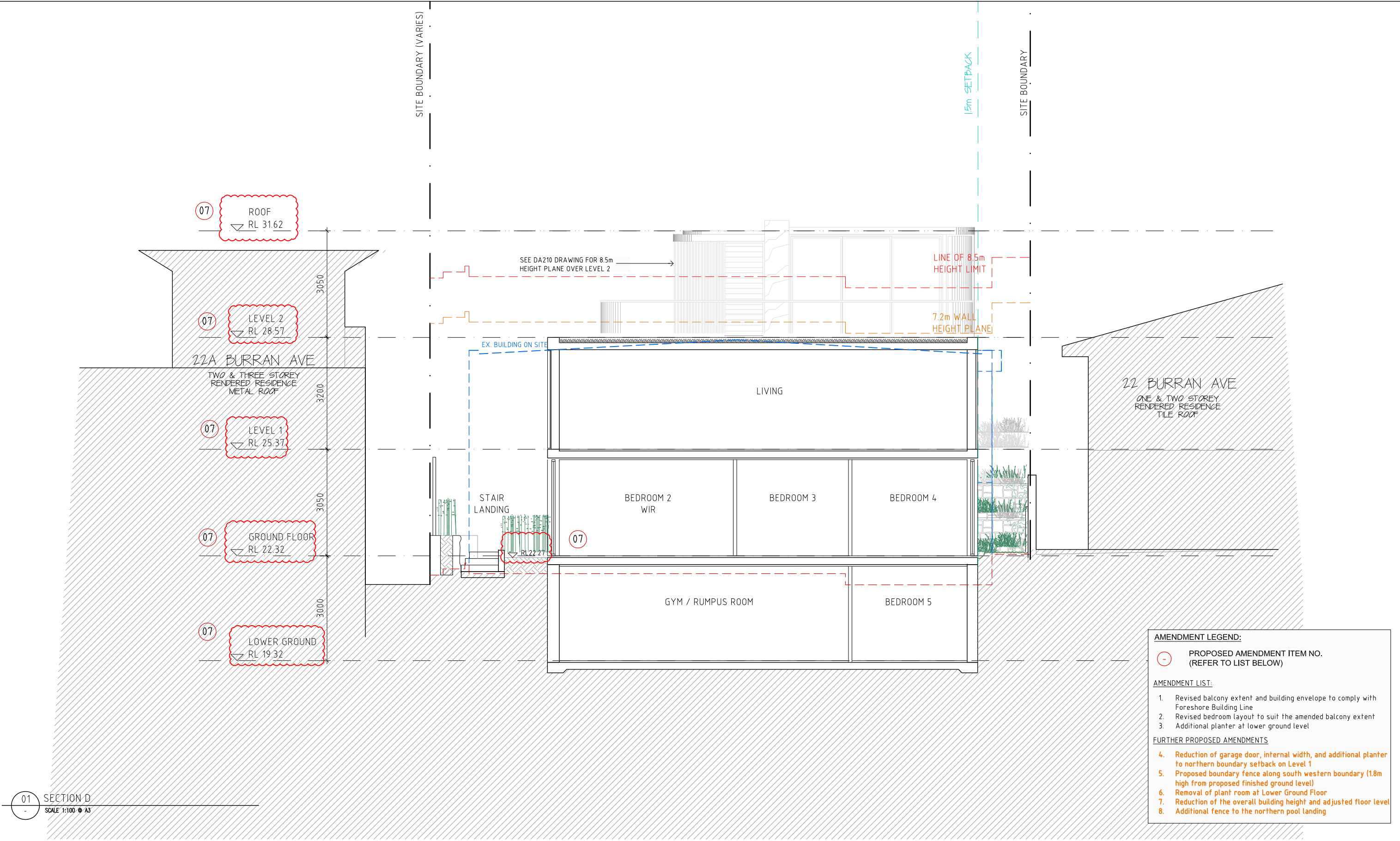
SECTION C

ISSUE: B
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DEVELOPMENT APPLICATION DRAWINGS

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PROPOSED SINGLE RESIDENTIAL DWELLING
22c BURRAN AVENUE, MOSMAN NSW 2088
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ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
P1	02.09.2020	DEVELOPMENT APPLICATION			
A	28.09.2020	DEVELOPMENT APPLICATION			
B	25.10.2021	ISSUE FOR LEG			



DA303

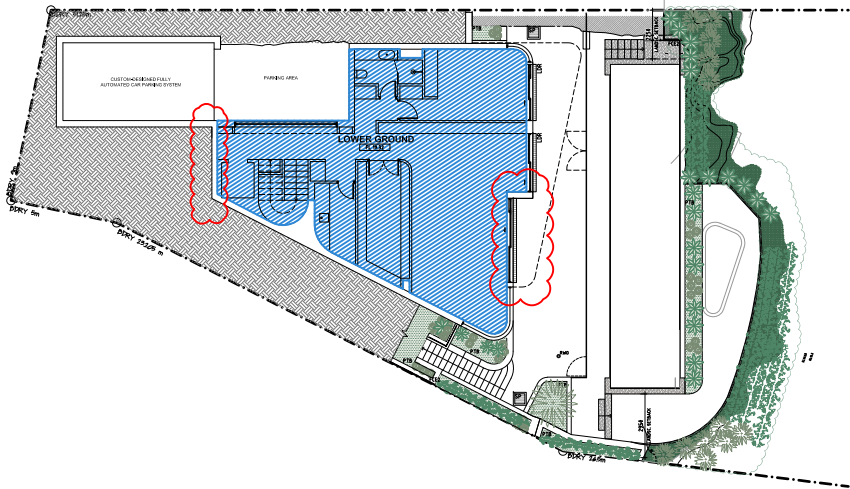
SECTION D

ISSUE: B
JOB No. 1908

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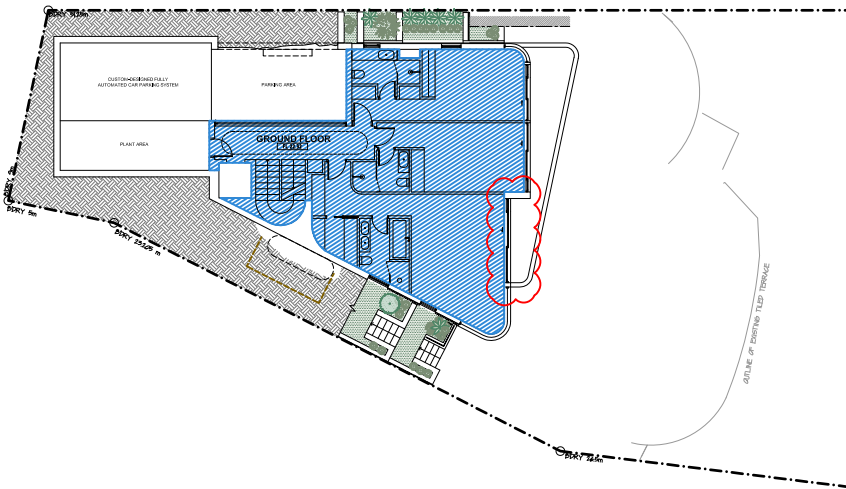
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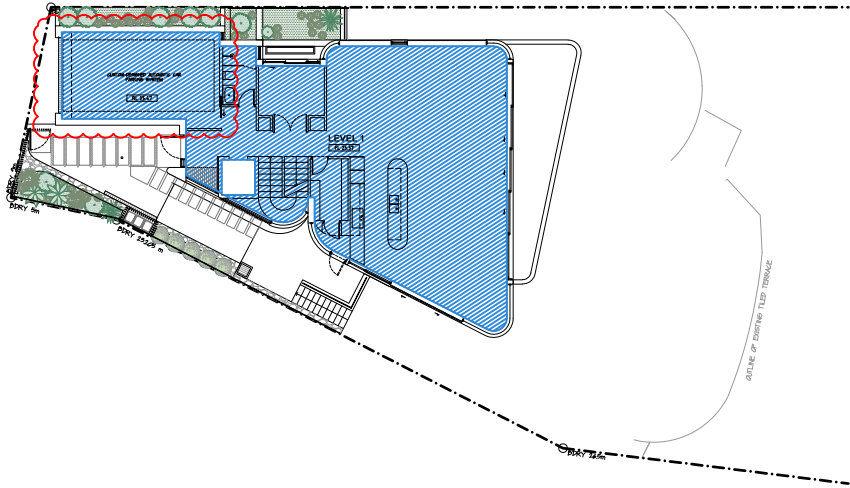
02 LOWER GROUND FLOOR

SCALE 1:350 A3



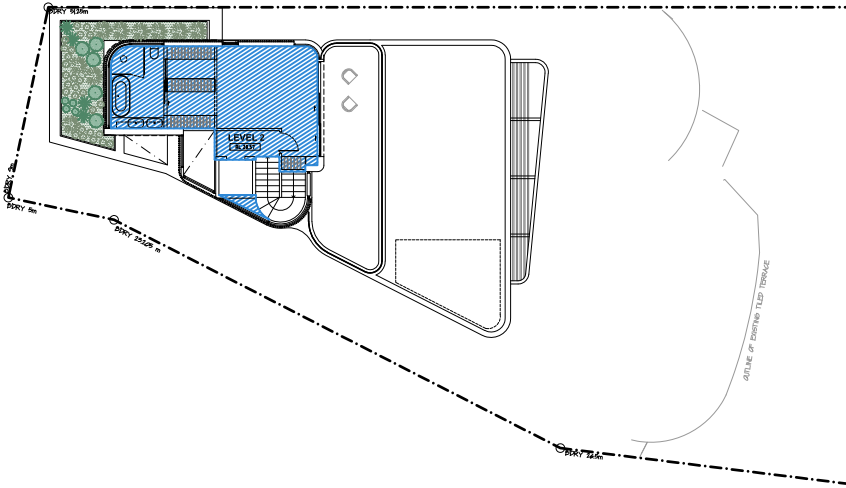
03 GROUND FLOOR PLAN

SCALE 1:350 A3



04 LEVEL 1 PLAN

SCALE 1:350 A3



05 LEVEL 2 PLAN

SCALE 1:350 A3

AMENDMENT LEGEND:

PROPOSED AMENDMENT ITEM NO.
(REFER TO LIST BELOW)

AMENDMENT LIST:

- Revised balcony extent and building envelope to comply with Foreshore Building Line
- Revised bedroom layout to suit the amended balcony extent
- Additional planter at lower ground level

FURTHER PROPOSED AMENDMENTS

- Reduction of garage door, internal width, and additional planter to northern boundary setback on Level 1
- Proposed boundary fence along south western boundary (1.8m high from proposed finished ground level)
- Removal of plant room at Lower Ground Floor
- Reduction of the overall building height and adjusted floor level
- Additional fence to the northern pool landing

AREA SUMMARY

SITE AREA	= 991.7 m ²
ALLOWABLE FSR	= 0.4706:1 (0.5:1 for 700m ² +0.4:1 for 291.7m ²)
ALLOWABLE GFA	= 466.68 m ² (350m ² + 116.68m ²)
PROPOSED GFA	= 442.68 m ²
FSR	= 0.446:1
LOWER GROUND FLOOR	= 119.25 m ²
GROUND FLOOR	= 117.40 m ²
LEVEL 1	= 161.63 m ²
LEVEL 2	= 44.39 m ²

LEGEND

GFA AREA

DEVELOPMENT APPLICATION DRAWINGS

PROJECT:	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
PROPOSED SINGLE RESIDENTIAL DWELLING	P1	23.09.2020	PRELIMINARY FOR COORDINATION			
22c BURRAN AVENUE, MOSMAN NSW 2088	A	28.09.2020	DEVELOPMENT APPLICATION			
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CLIENT: SIT FAMILY TRUST & O'CONNELL STREET CADDENS UNIT TRUST	C	25.10.2021	ISSUE FOR LEC			



DA500

GFA DIAGRAM

ISSUE: C
JOB No. 1908

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